

WESTOWN COMMUNITY DEVELOPMENT CORPORATION WEST BLVD GREEN INFRASTRUCTURE GRANT PARKING LOT DESIGN

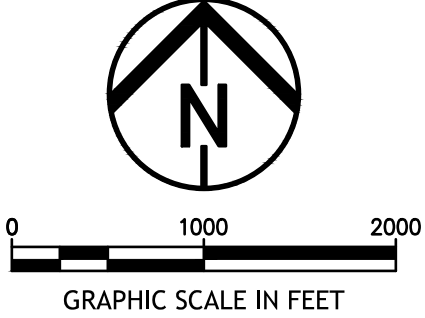
CUYAHOGA COUNTY, OHIO

WESTOWN COMMUNITY DEVELOPMENT CORPORATION Project 18-00313-010

ISSUED: DESIGN/BUILD SET - MAY 15, 2020

SITE PLAN LEGEND

EXISTING	PROPOSED	
		CENTERLINE/BASELINE CONSTRUCTION
		PROPERTY LINE
		RIGHT OF WAY
		EASEMENT
		TEMPORARY RIGHT OF WAY
		SWALE
		CONTOUR
		STORM SEWER
		SANITARY SEWER
		WATER LINE
		WATER SERVICE
		GAS LINE
		ELECTRIC LINE, UNDERGROUND
		TELEPHONE LINE, UNDERGROUND
		FIBER OPTIC LINE, UNDERGROUND
		CABLE LINE, UNDERGROUND
		CATCH BASIN, MANHOLE
		MANHOLE ADJUSTED TO GRADE
		HYDRANT, HYDRANT ASSEMBLY
		VALVE, WV=WATER VALVE GV=GAS VALVE
		METER, E=ELECTRIC, G=GAS, W=WATER
		ELECTRIC CABINET, PULL BOX, PEDESTAL, MANHOLE
		TELEPHONE MANHOLE, UTILITY MARKER
		POWER POLE, TELEPHONE POLE, COMBINATION POLE, LIGHT POLE
		IRON PIN/PIPE FOUND, IRON PIN SET
		MONUMENT BOX
		SIGN
		MAILBOX
		FLAG POLE, DECORATIVE/YARD LIGHT
		TREE, SHRUB LINE, TREE REMOVED, TREE LIMBED AND ROOT PRUNED
		BASEMENT ELEVATION



LOCATION MAP

PROJECT LOCATION
10025 DETROIT AVENUE, CLEVELAND

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LANDSCAPE AND SWPP DETAILS	6

APPROVALS:	
WESTOWN COMMUNITY DEVELOPMENT CORPORATION	
ROSE A. ZITIELLO, ESQ. EXECUTIVE DIRECTOR	Date _____

PLANS PREPARED AND RECOMMENDED BY:



REVISED: _____ SET NO. _____

PROJ. NUMBER	18-00313-010	TITLE	SHEET
DESIGNED BY:	KGH		1 of 6
DRAWN BY:	JM		
FILE NO.	ZTITLE 18-00313-010.dwg		



NOTES:
THESE DRAWINGS ARE AN ABBREVIATED DESIGN SET TO CLARIFY AND COMMUNICATE GENERAL DESIGN INTENT WITH THE UNDERSTANDING THAT THIS IS A DESIGN/BUILD DELIVERY METHOD. HOWEVER, DESIGN AND TECHNICAL SPECIFICATIONS ARE COMPLETE.

2019 SPECIFICATIONS
THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THESE PLAN BID DOCUMENTS SHALL GOVERN THIS IMPROVEMENT. FOR PURPOSES OF THIS PLAN, REFERENCES TO DIRECTOR, LANDSCAPE ARCHITECT OR ENGINEER SHALL BE CONSTRUED TO MEAN THE OWNER AND/OR HIS REPRESENTATIVES.

E:\WESTOWN COMMUNITY DEVELOPMENT CORP\18-00313-010 WEST BLVD GIG DESIGN\CADD\TITLE 18-00313-010 - 5/18/2020 10:25:01 AM

ALL ITEM NUMBERS REFER TO THE 2019 STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CITY OF CLEVELAND SPECIFICATIONS AND PROJECT SPECIFICATIONS. ALL EQUIPMENT, MATERIAL AND WORKMANSHIP SHALL BE PERFORMED ACCORDING TO THESE SPECIFICATIONS AND THE REFERENCED OHIO DEPARTMENT OF TRANSPORTATION AND CITY OF CLEVELAND NOTED ON THE TITLE SHEET AND IN THE DRAWINGS.

TESTING AND PERMITS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS PROJECT. THE OWNER SHALL COORDINATE THESE PERMITS.
2. COMPACTION RATES ARE 98% OF THE MAXIMUM DRY DENSITY PER AASHTO T-99 FOR THE VARIOUS LIFTS OF BACKFILL AND THEY SHALL BE VERIFIED IN THE FIELD AS CONSTRUCTION PROGRESSES.
3. NO COMPACTION SHALL OCCUR WITHIN THE FOOTPRINT OF THE BIORETENTION.

UTILITY OWNERSHIP

THE FOLLOWING UTILITIES AND OWNERS COULD BE LOCATED WITHIN THE WORK LIMITS OF THE PROJECT:

DOMINION EAST OHIO
320 SPRINGSIDE DRIVE, SUITE 320
AKRON, OH 44333
(330) 664-2409
ATTN: MARY LONG

CLEVELAND PUBLIC POWER
1300 LAKESIDE AVE.
CLEVELAND, OH 44114
(216) 664-4600
ATTN: BEAU STEINMETZ
(216) 563-7265
BSTEINMETZ@CPP.ORG

NORTHEAST OHIO REGIONAL
SEWER DISTRICT
3826 EUCLID AVE.
CLEVELAND, OH 44115
(216) 881-8247

CITY OF CLEVELAND -
WATER POLLUTION
CONTROL
12302 KIRBY AVE.
CLEVELAND, OH 44108
(216) 664-2513

CENTURYLINK LOCAL
3801 ELM RD.
WARREN, OH 44483
(330) 841-1404
ATTN: ROD HARRIS

CLEVELAND ELECTRIC
ILLUMINATING COMPANY
6896 MILLER RD.
BRECKSVILLE, OH 44141
(440) 358-4991
ATTN: RALPH DELLIGATTI

CLEVELAND WATER
DEPARTMENT
1201 LAKESIDE AVE.
CLEVELAND, OH 44114
216-664-2444 EXT. 5555

AT&T
13630 LORAIN AVE.
CLEVELAND, OH 44111
(216) 476-6142
ATTN: JAMES JANIS

CHARTER COMMUNICATIONS
8150 DOW CIRCLE
STRONGSVILLE, OH 44136
(216) 392-7963
ATTN: GARY NAUMANN

MCI
120 RAVINE ST.
AKRON, OH 44303
(330) 253-8267
ATTN: ALLAN GUEST

THE LOCATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF SURVEY. THEY ARE SHOWN AS ACCURATELY AS POSSIBLE AND THE OWNER'S REPRESENTATIVE AND OWNERS ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS.

THE CONTRACTOR IS RESPONSIBLE, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL OUPS AT (800) 362-2764 AND OGPUPS AT (800) 925-0988 TWO FULL WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION SEQUENCE

THE CONTRACTOR SHALL ENGAGE IN THE CONSTRUCTION OF THE PROJECT SUCH THAT ADEQUATE ACCESS TO THE ADJOINING BUSINESS IS MAINTAINED AT ALL TIMES. THIS INCLUDES ACCESS TO THE ADJOINING PARKING LOT AT 11916 LORAIN AVENUE.

REMOVAL OF DEBRIS AND SITE CLEANUP

THE PROJECT SITE MUST BE KEPT FREE OF CONSTRUCTION DEBRIS, TRASH, PAPER AND OTHER WASTE ITEMS. COLLECT AND REMOVE THESE ITEMS AT THE END OF EACH WORK DAY.

DUST NUISANCE ORIGINATION

DUST PRODUCED FROM ANY OPERATIONS INSIDE OR OUTSIDE THE RIGHT-OF-WAY SHALL BE CONTROLLED BY THE CONTRACTOR IN ACCORDANCE WITH ITEM 616. WATER AND/OR CALCIUM CHLORIDE SHALL NOT BE APPLIED UNLESS ORDERED BY THE ENGINEER.

PAVEMENT SWEEPING

AS REQUIRED DURING THE COURSE OF EACH WORK DAY, THE CONTRACTOR SHALL SWEEP ALL PAVED AREAS AFFECTED BY THE DAY'S WORK. PAVEMENT SHALL BE SCRAPED AND SWEEPED TO REMOVE ALL DIRT, MUD AND DEBRIS.

CONCRETE WASHOUT

CONTRACTOR SHALL NOT PERFORM CONCRETE WASHOUT ON SITE.

ITEM 659 - SEEDING AND MULCHING, AS PER PLAN

THE VARIOUS SECTIONS OF ITEM 659, SEEDING AND MULCHING, AS DESCRIBED IN ODOT CMS SHALL APPLY, EXCEPT AS AMENDED BY THE FOLLOWING:

ITEM 659.05 TOPSOIL SHALL BE SYNONYMOUS WITH PLANTING MIX. REGARDLESS OF SOIL ANALYSIS, PLANTING MIX SHALL BE MADE UP OF ONE PART COMPOST TO SIX PARTS TOPSOIL.

ITEM 659.07 SEED SHALL BE RESIDENTIAL LAWN MIX BY LESCO CORPORATION, OR EQUAL.

ITEM 659.10 SITE PREPARATION SHALL BE REPLACED BY THE FOLLOWING:

659.10 SITE PREPARATION.

PRIOR TO PLACING TOPSOIL, INSPECT THE SURFACE OF THE SUBGRADE. REMOVE ALL STONES, ROOTS, OR OTHER MATERIAL FROM THE SURFACE THAT IS LARGER THAN ONE INCH AS MEASURED IN ANY ONE DIRECTION. THEN PLACE TOPSOIL IN ACCORDANCE WITH ITEM 659.11.

SEEDBED SHALL THEN BE PREPARED REMOVING ALL ROCK AND FOREIGN MATERIAL GREATER THAN ONE INCH IN ANY DIRECTION AND FINE GRADED BY RAKING TO PLAN GRADE, TO THE SATISFACTION OF THE ENGINEER.

ITEM 659 - MAINTENANCE SHALL BE REPLACED BY THE FOLLOWING:

659.18 MAINTENANCE OF LAWN SEED AREAS. ALL SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL ACCEPTANCE. MAINTENANCE SHALL ALSO INCLUDE FURNISHING AND INSTALLING APPROVED BARRICADES AND SIGNS TO PROTECT NEWLY SEEDED AND MULCHED AREAS. ALL AREAS DAMAGED FOLLOWING SEEDING OR MULCHING OPERATIONS DUE TO WIND, WATER, FIRE, OR OTHER CAUSES SHALL BE REPAIRED. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE AREA PRIOR TO SEEDING. IT THEN SHALL BE RESEEDED AND REMULCHED, AS DIRECTED BY THE ENGINEER.

RESTORATION IS CRITICAL TO MINIMIZE DISRUPTION AND INCONVENIENCE FOR PROPERTY OWNERS. BASED ON THE SEQUENCE OF CONSTRUCTION DESCRIBED ELSEWHERE, THE GENERAL NOTES AND/OR THE MAINTENANCE OF TRAFFIC NOTES, EARTHWORK WILL BE COMPLETED WITH MINIMAL DISRUPTION TO THE ADJOINING PARKING LOT AT 11916 LORAIN AVENUE.

THE CONTRACTOR SHALL MOBILIZE THE LANDSCAPE CREW(S) WITHIN ONE WEEK OF THE 90% POINT. CREW(S) SHALL ENGAGE IN TOPSOILING, SEEDING, PLANT INSTALLATION, MULCHING/MATTERING, WATERING AND MAINTENANCE. WORK SHALL BE CONTINUOUS UNTIL COMPLETE. IF DRIVEWAYS ARE NOT COMPLETE, RESTORATION AROUND THEM CAN BE SKIPPED UNTIL THEY ARE COMPLETE.

1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
2. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
3. FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED.
4. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT.
5. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
6. ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 2004 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
7. COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.
8. MAINTENANCE OF PLANT MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PLANT MATERIALS ARE ACCEPTED BY OWNER. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO WATERING, WEEDING, PEST CONTROL, AND OTHER ACTIONS AS REQUIRED TO MAINTAIN PLANT MATERIALS IN A HEALTHY CONDITION.
9. ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.



**WEST BLVD GREEN
INFRASTRUCTURE GRANT
PARKING LOT DESIGN
WESTOWN COMMUNITY
DEVELOPMENT CORPORATION**

DESIGN/BUILD REVIEW

DATE: _____

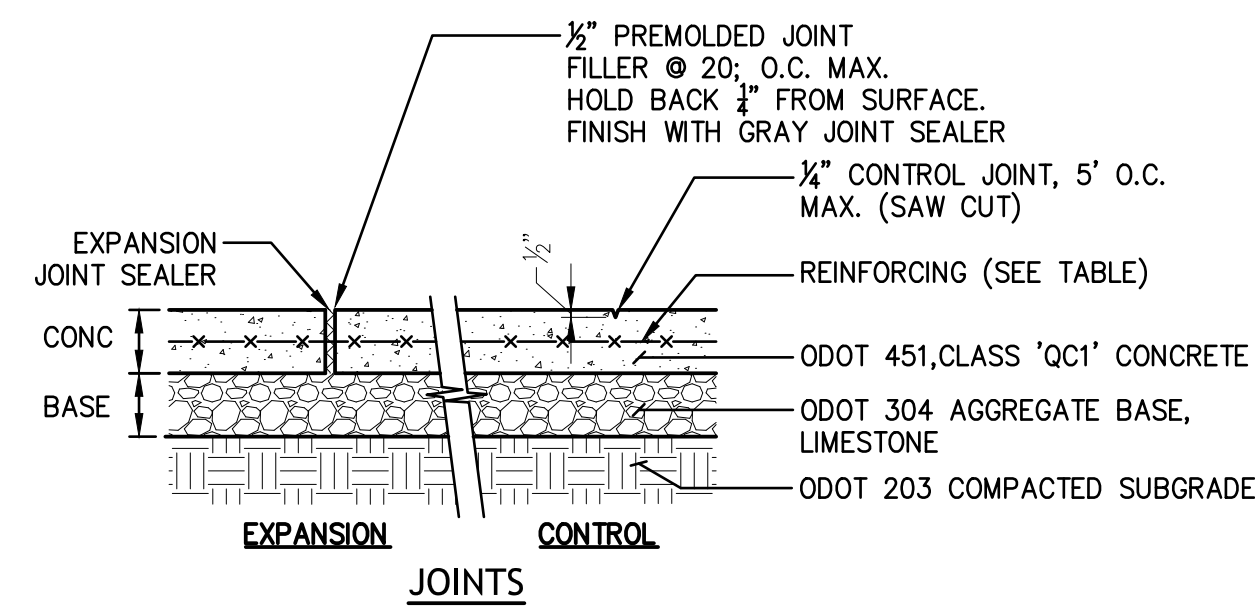
REVISIONS		
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PROJECT NO.: 18-00313-010
DRAWN BY: JM
CHECKED BY: RB/KGH
DATE ISSUED: 2020/02/18

GENERAL NOTES

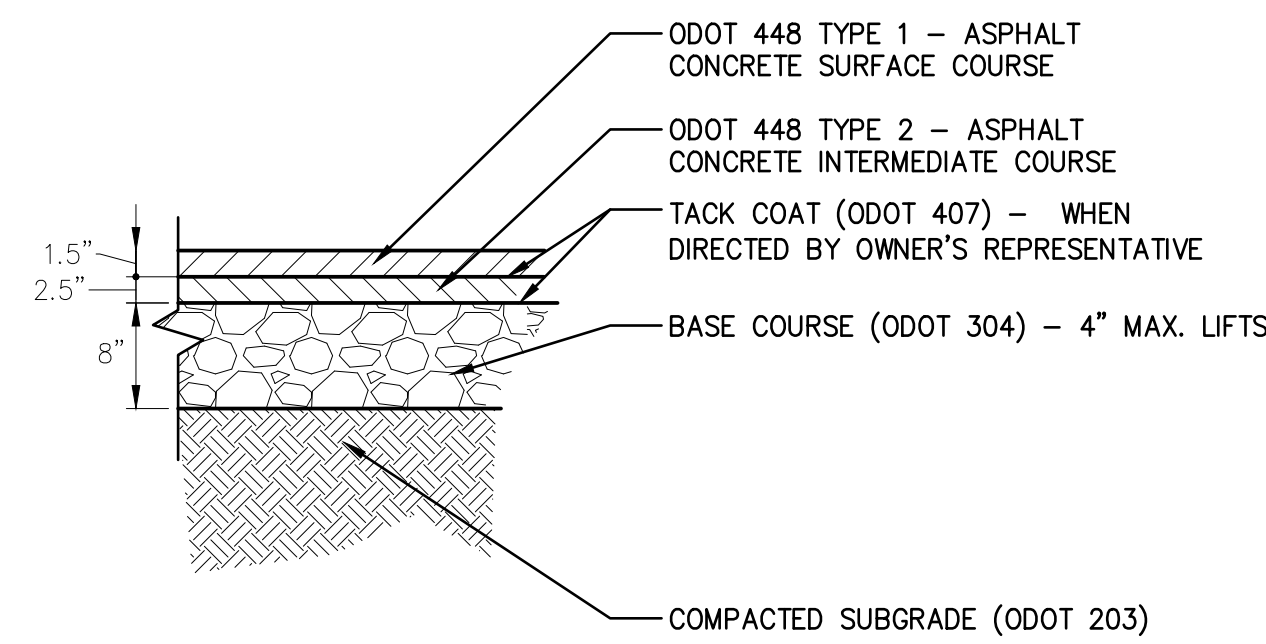
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- NOTES:**
1. EXPANSION JOINT - $\frac{1}{2}$ " AT 20' O.C. MAX. OR AS SHOWN ON DRAWINGS AT ALL CURBS, WALKS, WALLS AND OTHER FIXED OBJECTS.
 2. CONTROL JOINT - AS SHOWN ON DRAWINGS; MIN. 5' O.C.
 3. CROSS SLOPE - $\frac{1}{4}$ " PER FOOT MIN. TO DRAIN
 4. MEDIUM BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 5. USE EDGING TOOL AT PERIMETER.



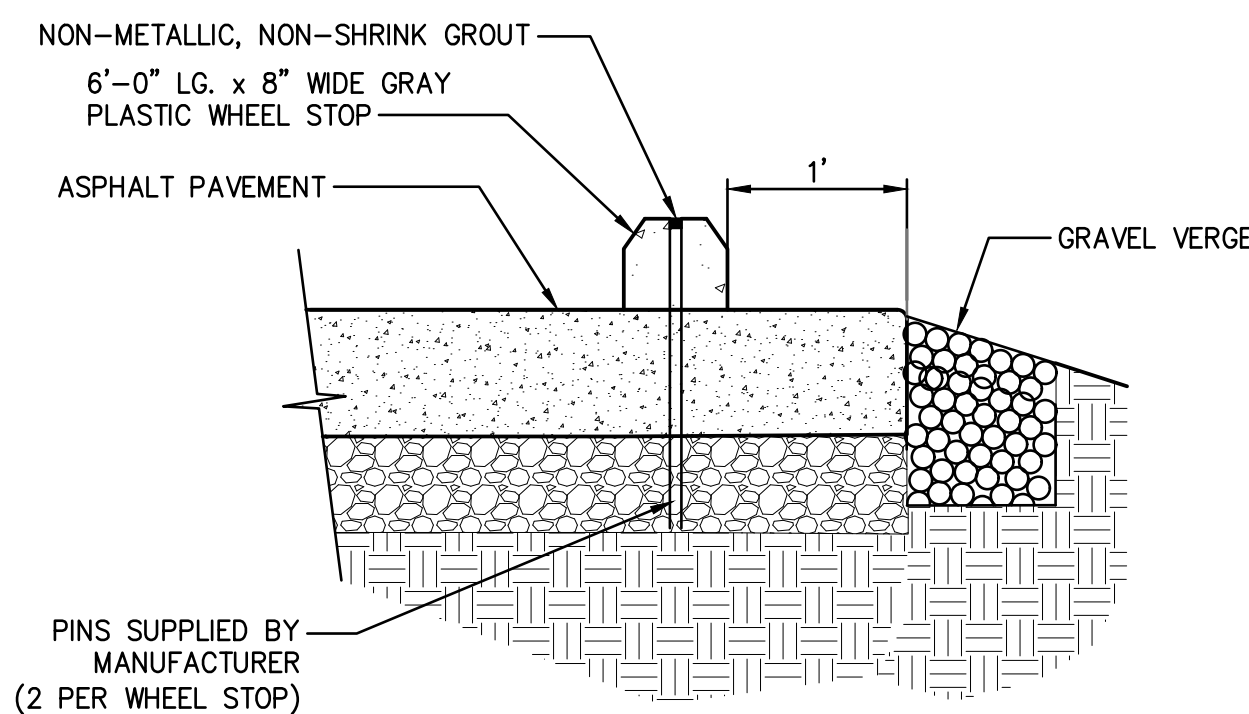
CONCRETE PAVEMENT	TYPE	CONC	BASE	REINFORCING
HEAVY DUTY		6"	6"	6X6 - W10/10

1 CONCRETE PAVEMENT
 4 NOT TO SCALE

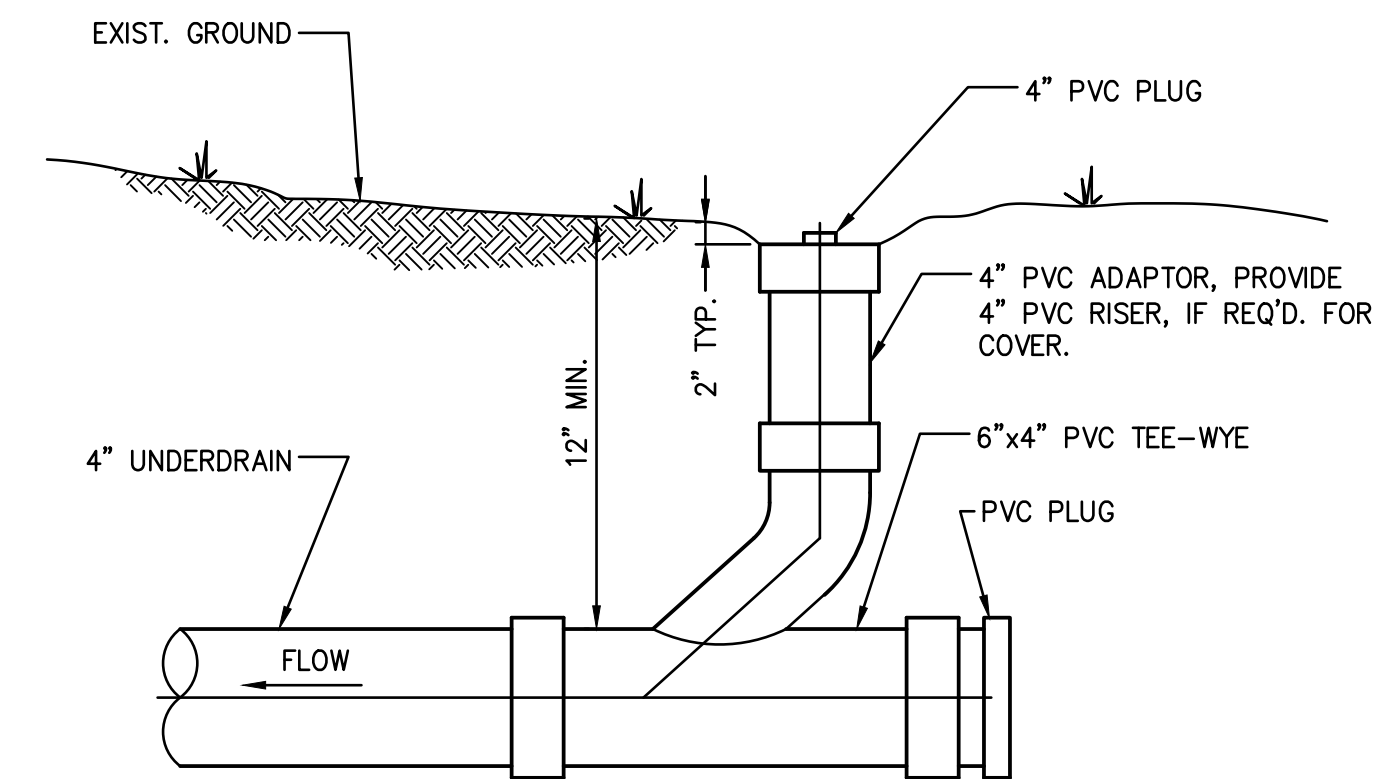


2 ASPHALT PAVEMENT
 4 NOT TO SCALE

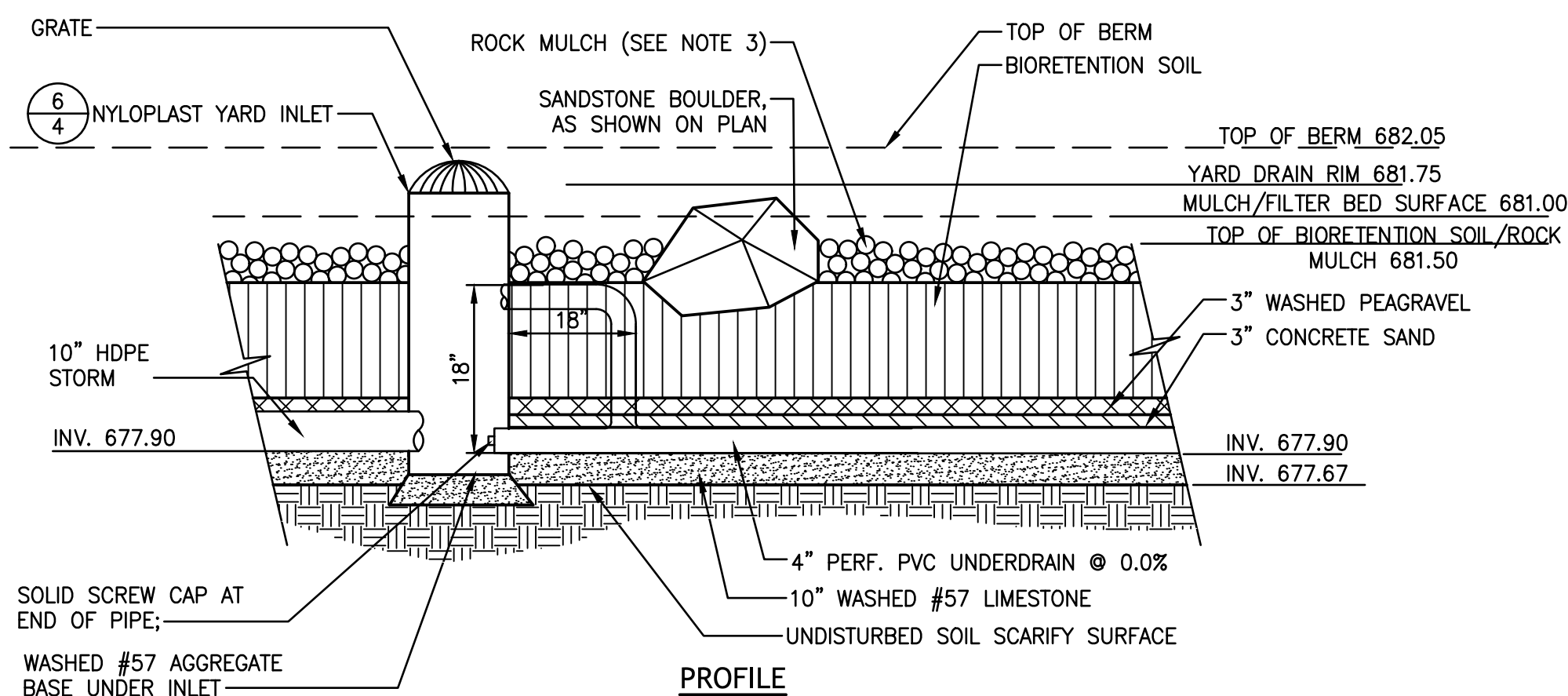
- NOTES:**
1. CONTRACTOR TO PROVIDE CUT SHEET OF WHEEL STOP FOR APPROVAL PRIOR TO INSTALLATION.
 2. POSITION WHEEL STOP IN CENTER OF PARKING SPACE.



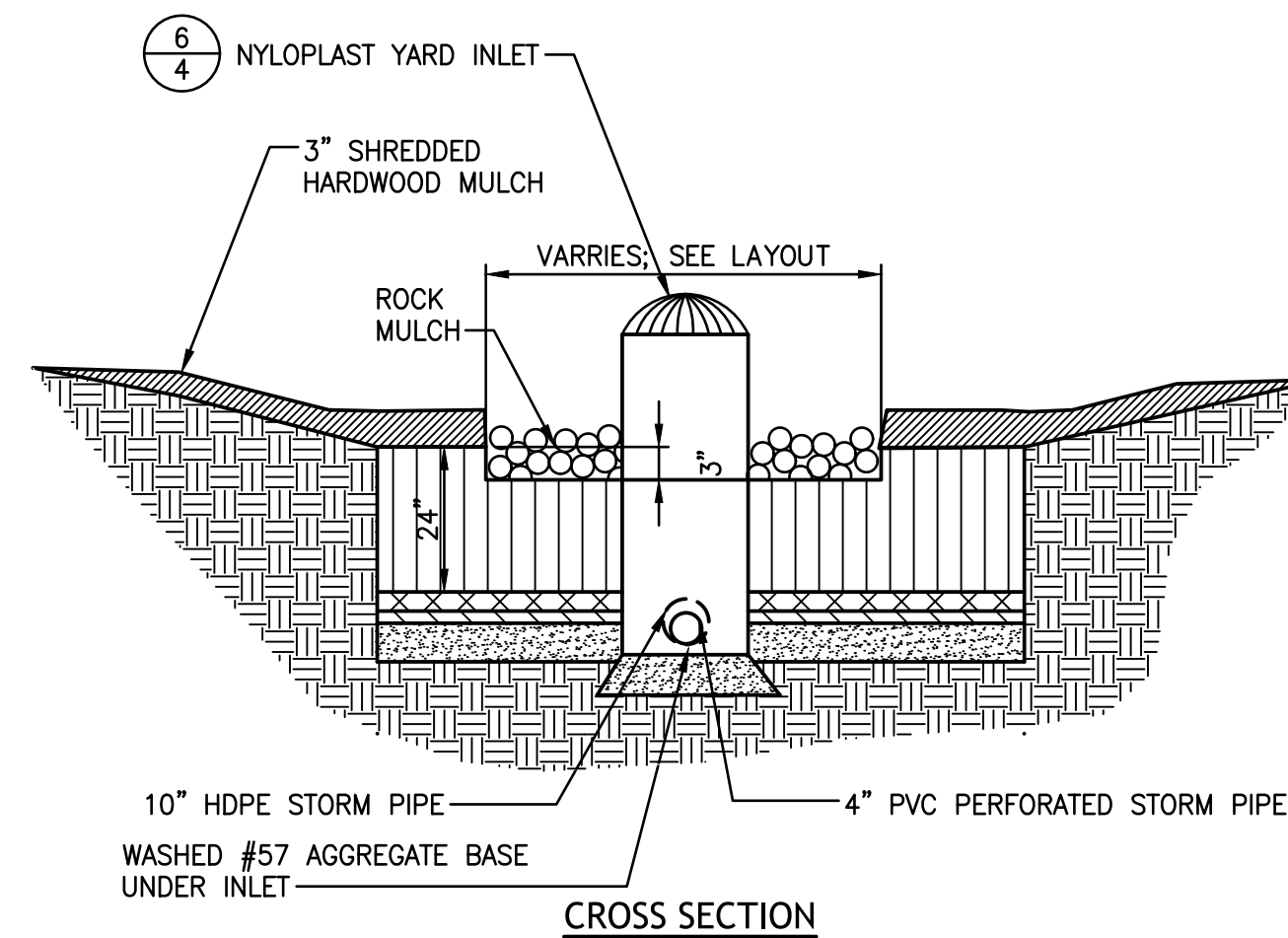
3 PLASTIC WHEEL STOP
 4 NOT TO SCALE



4 UNDERDRAIN CLEANOUT
 4 NOT TO SCALE

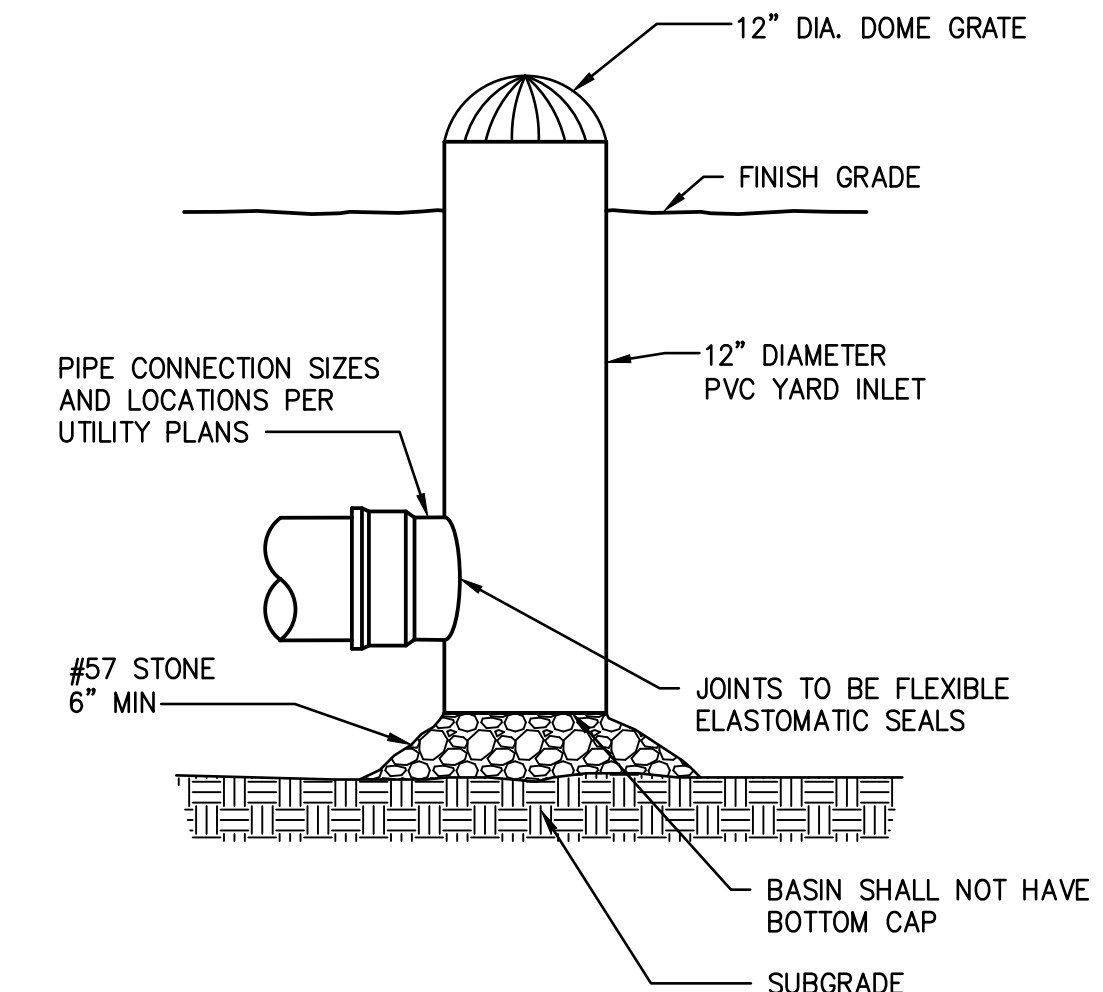


5 BIORETENTION
 4 NOT TO SCALE

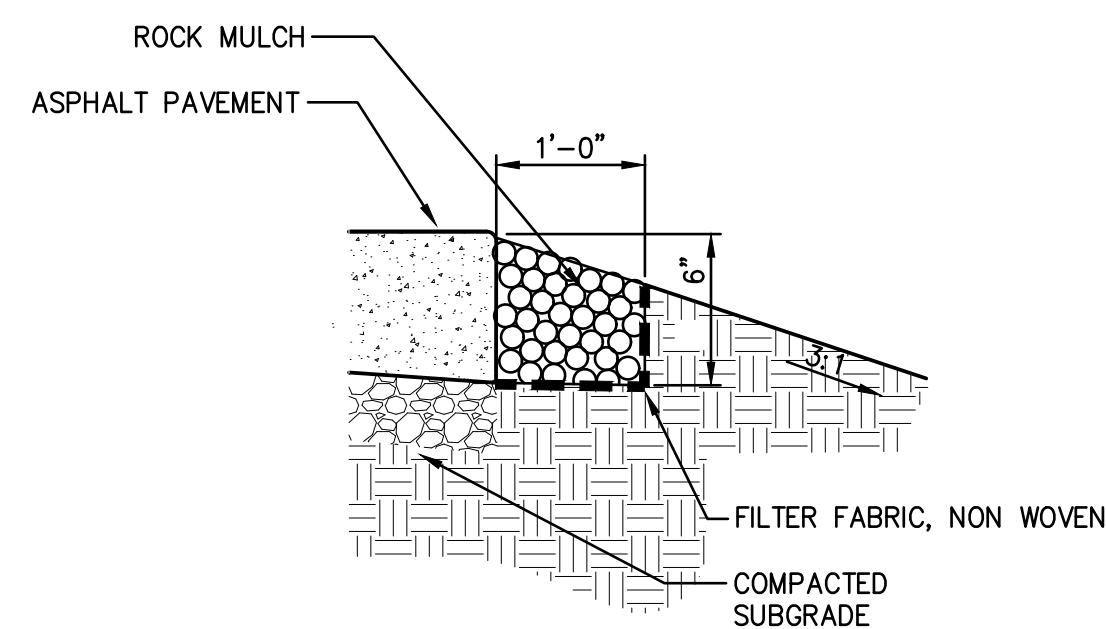


6 NYLOPLAST YARD INLET (OVERFLOW STRUCTURE)
 4 NOT TO SCALE

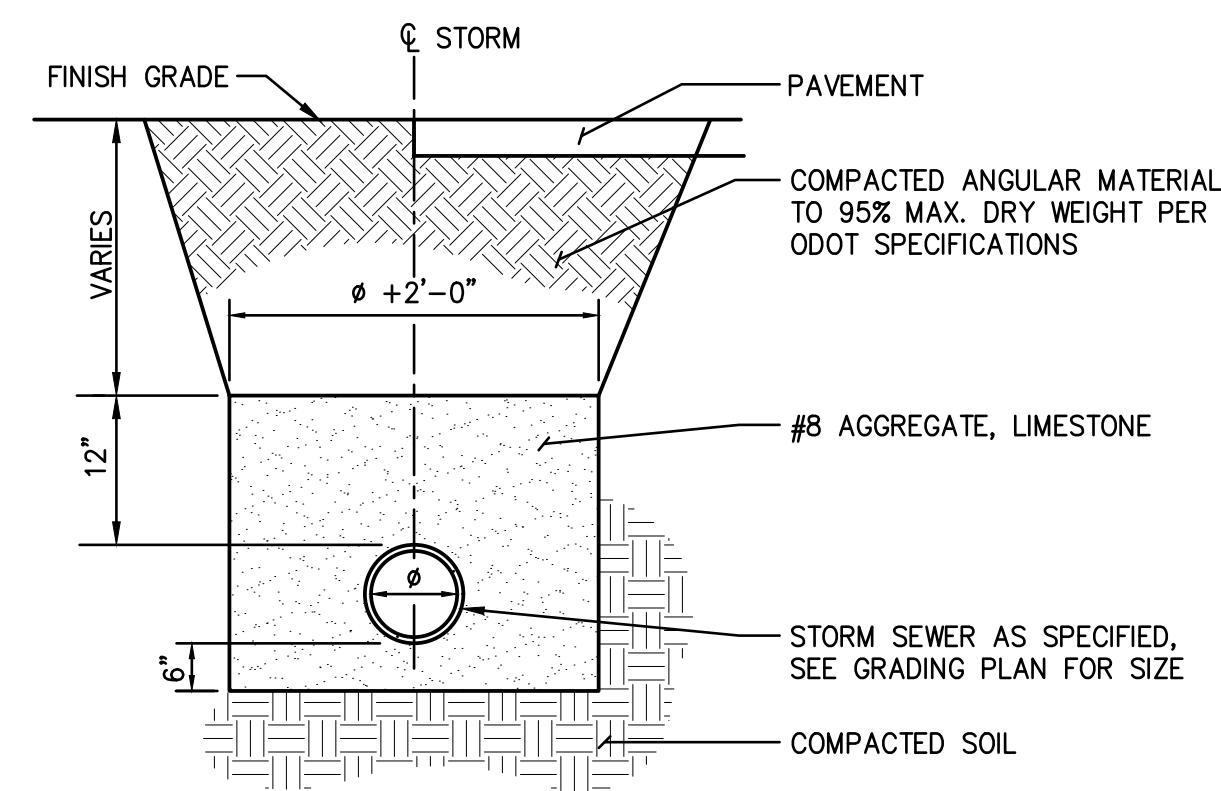
- NOTES:**
1. SEE GRADING PLANS FOR ADDITIONAL INFORMATION.
 2. CONTRACTOR SHALL USE TOOTHED BUCKET INSTEAD OF SMOOTH BUCKET TO EXCAVATE THE BOTTOM OF BASIN.
 3. ROCK MULCH SHALL BE #57 CANADIAN BLUE GRAVEL A MINIMUM OF 3" THICK.
 4. NATURALLY FRACTURED BOULDERS SHALL BE 18" MINIMUM IN SIZE AND BROWN/GRAY IN TONE. CONTRACTOR SHALL SUBMIT FULL SIZE SAMPLE FOR APPROVAL SHOWING TON AND SIZE. PLACE AT LEAST 3 BOULDERS IN BASIN. LANDSCAPE ARCHITECT/ OWNER SHALL HAVE FINAL APPROVAL OF EACH BOULDER LOCATION IN FIELD.



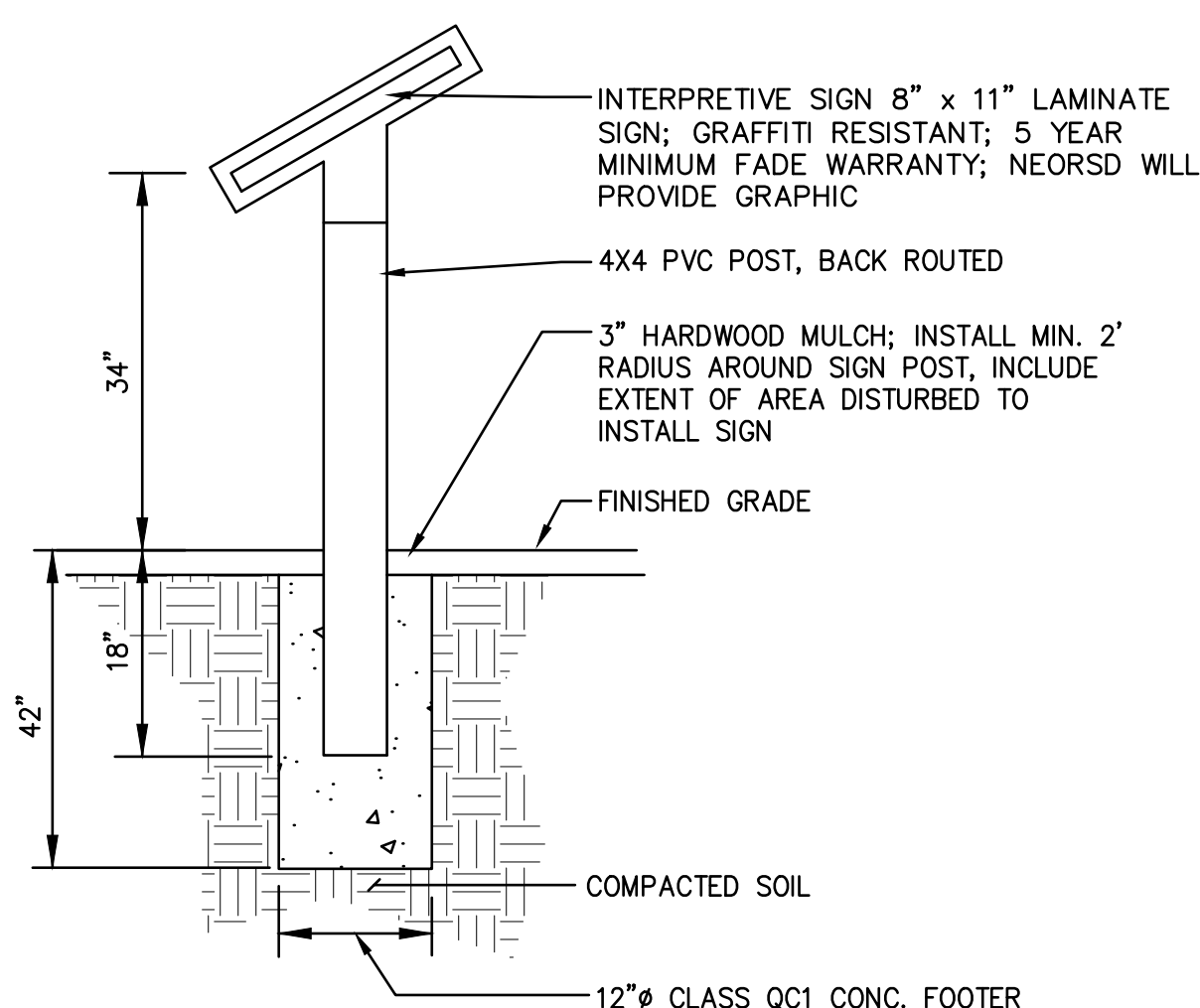
- NOTES:**
1. SEE GRADING PLANS FOR ADDITIONAL INFORMATION.
 2. ROCK MULCH SHALL BE #57 CANADIAN BLUE GRAVEL.



7 GRAVEL VERGE
 4 NOT TO SCALE



8 STORM SEWER TRENCH
 4 NOT TO SCALE



9 INTERPRETIVE SIGN
 4 NOT TO SCALE

**WEST BLVD GREEN
 INFRASTRUCTURE GRANT
 PARKING LOT DESIGN
 WESTOWN COMMUNITY
 DEVELOPMENT CORPORATION**

DESIGN/BUILD REVIEW

DATE: _____

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 18-00313-010
 DRAWN BY: JM
 CHECKED BY: RB/KGH
 DATE ISSUED: 2020/02/18

**CONSTRUCTION
 DETAILS**

PLANT SCHEDULE

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION	QUANTITY	REMARKS
Shade Trees							
BN	<i>Platanus x acerifolia</i> 'Bloodgood'	Bloodgood London Planetree	1.5" CAL	AS SHOWN	B&B	3	
Evergreen Trees							
TA	<i>Thuja occidentalis nigra</i>	Dark Green Arborvatae	4'	AS SHOWN	B&B	3	
Shrubs							
RA	<i>Rosa Knockout</i>	Knock out Rose	15"	AS SHOWN	#1 CONT.	3	
Perennials							
HE PM	<i>Hemerocallis</i> 'Pardon Me'	Pardon Me Daylily	CLUMP	24" O.C.	4-INCH	20	
IS BS	<i>Iris sibirica</i> 'showdown'	Showdown Iris	CLUMP	24" O.C.	4-INCH	24	
RU KO	<i>Rudbeckia</i> f. var. <i>sullivantii</i> 'Goldstrum'	Black-eyed Susan	CLUMP	24" O.C.	4-INCH	17	
NE W	<i>Labelia cardinalis</i>	Red Cardinal Flower	CLUMP	36" O.C.	4-INCH	10	
Ornamental Grass							
CA KF	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Reedgrass	CLUMP	AS SHOWN	4-INCH	46	

LANDSCAPE PLAN LEGEND

	SHADE TREE		WORK LIMITS
	ORNAMENTAL TREE		PROPERTY BOUNDARY
	EVERGREEN TREE		RIGHT OF WAY
	DECIDUOUS SHRUB		
	EVERGREEN SHRUB		
	ORNAMENTAL GRASS		
	PERENNIALS/BULBS		
	GRAVEL VERGE		
	INFILTRATION TRENCH		
	PLANTING BED		

Environmental Design Group
 AKRON / CLEVELAND / COLUMBUS
 450 GRANT ST., AKRON, OH 44321
 P 330.575.1590 / F 330.835.1590
 W ENVDESIGNGROUP.COM

811 Know what's below. Call before you dig.

**WEST BLVD GREEN
 INFRASTRUCTURE GRANT
 PARKING LOT DESIGN
 WESTOWN COMMUNITY
 DEVELOPMENT CORPORATION**

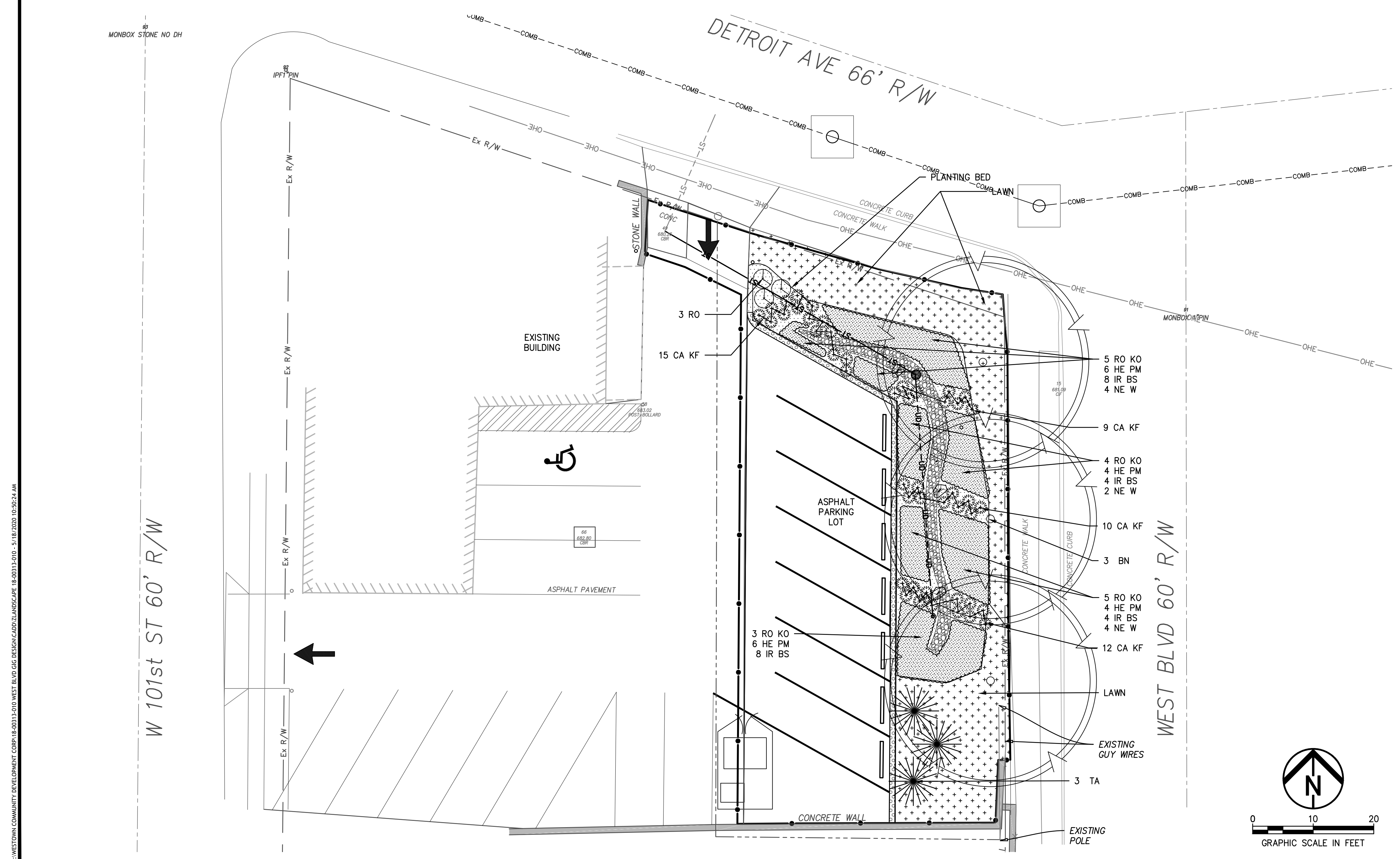
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REVISIONS		
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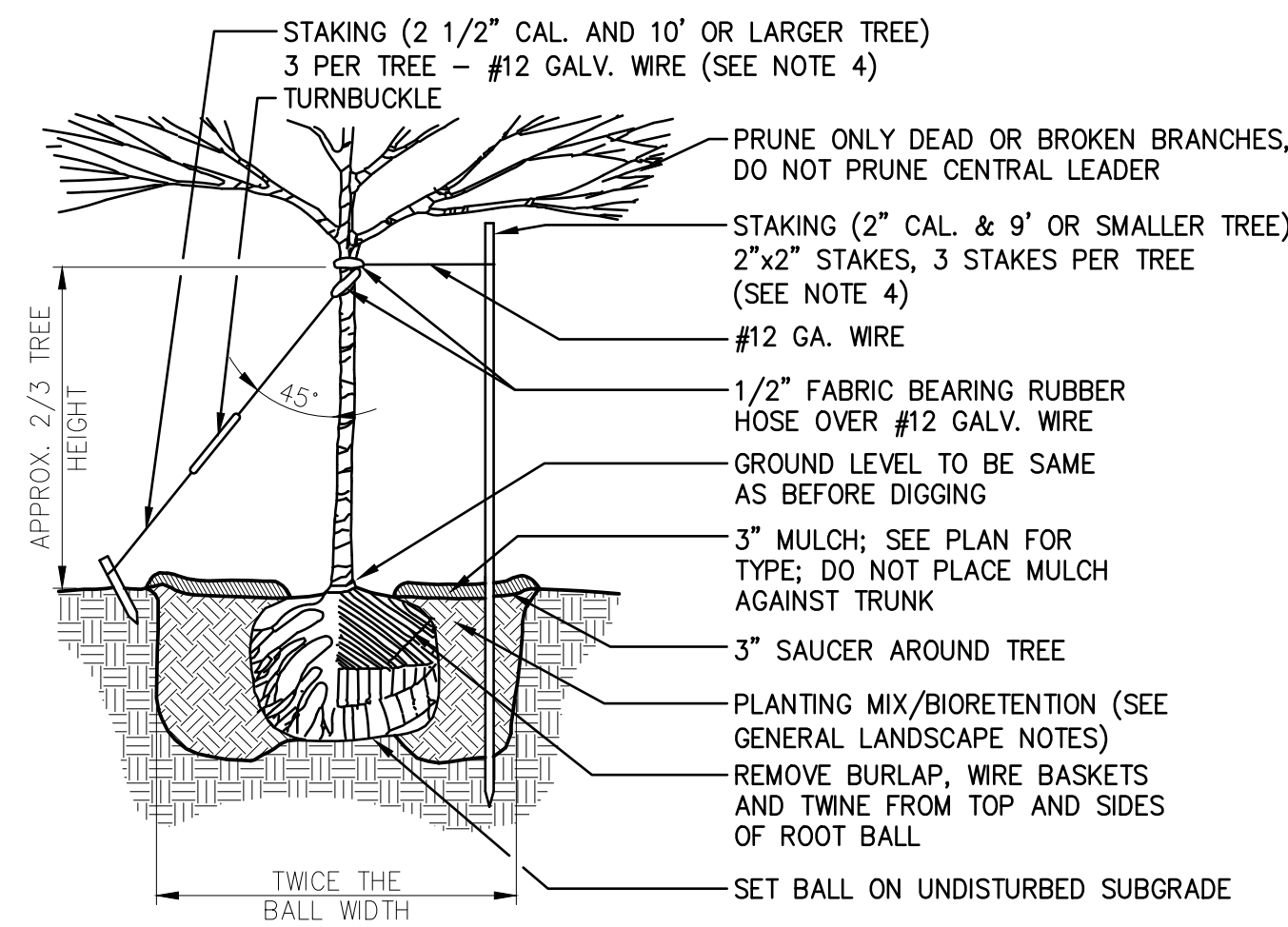
PROJECT NO.: 18-00313-010
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LANDSCAPE PLAN

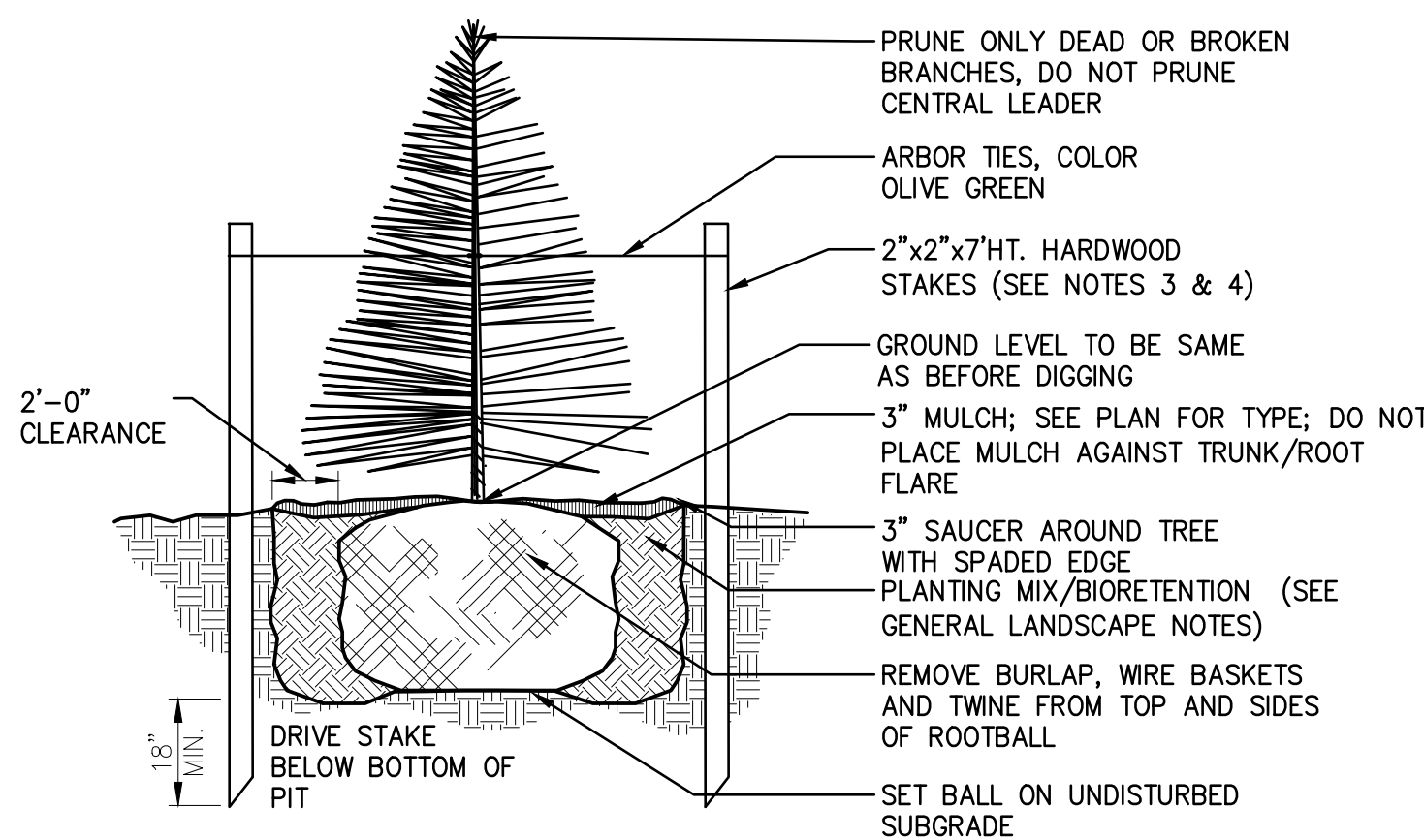


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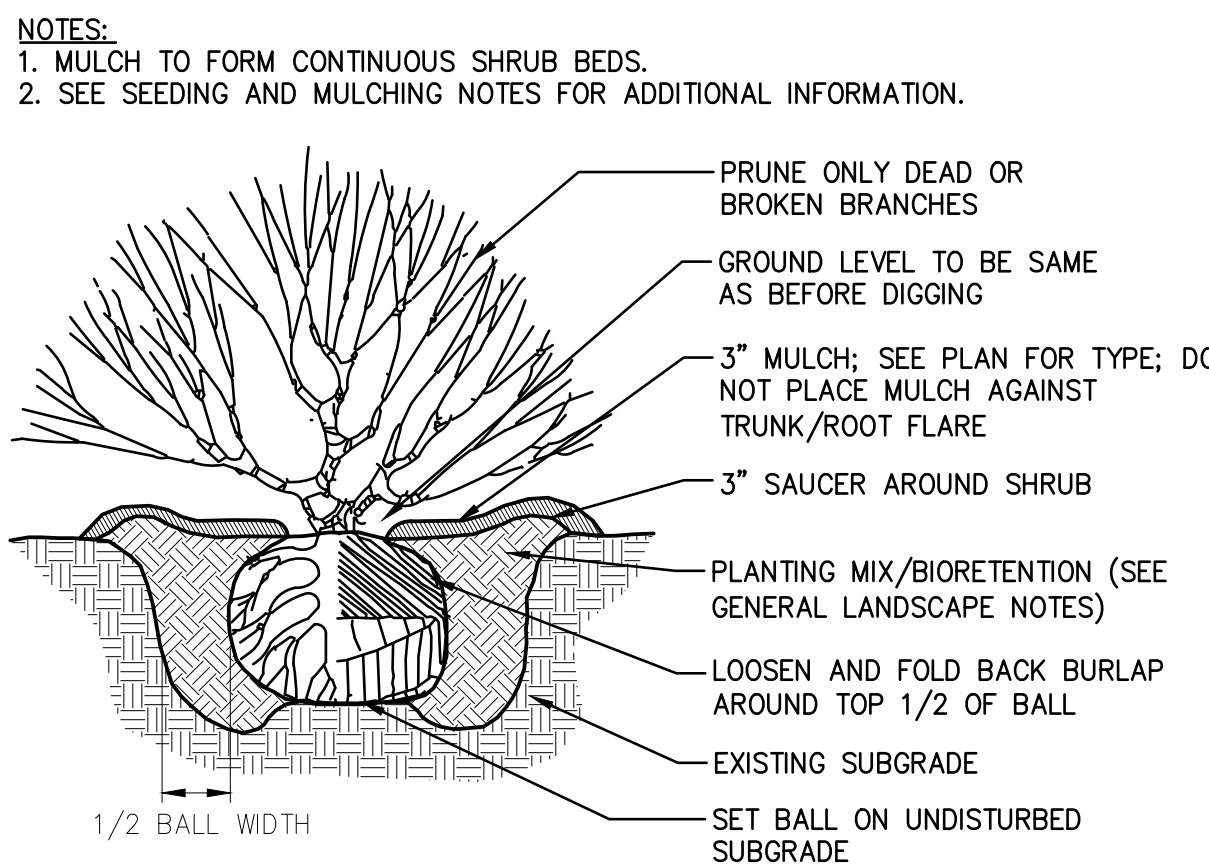
- NOTES:**
1. REMOVE BURLAP, WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL. CENTER TREE IN HOLE SET TOP OF BALL 1" ABOVE FINISH GRADE.
 2. COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). PLANTING MIX SHALL BE ONE PART EXISTING SOIL TO THREE PARTS COMPOST OR BIORETENTION SOIL IF PLANTS ARE IN BIORETENTION AREA. CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.
 3. SEE SEEDING AND MULCHING NOTES FOR ADDITIONAL INFORMATION.



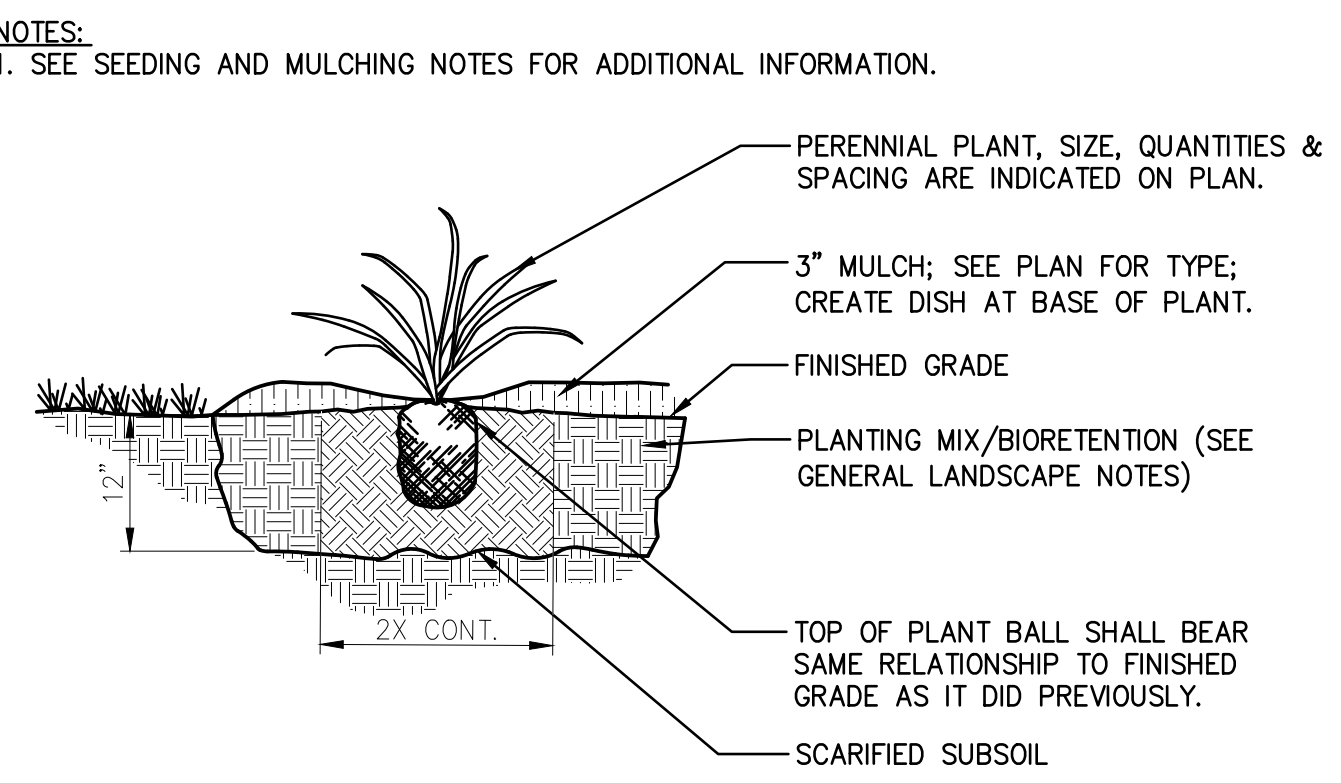
1 DECIDUOUS TREE PLANTING DETAIL
6 NOT TO SCALE



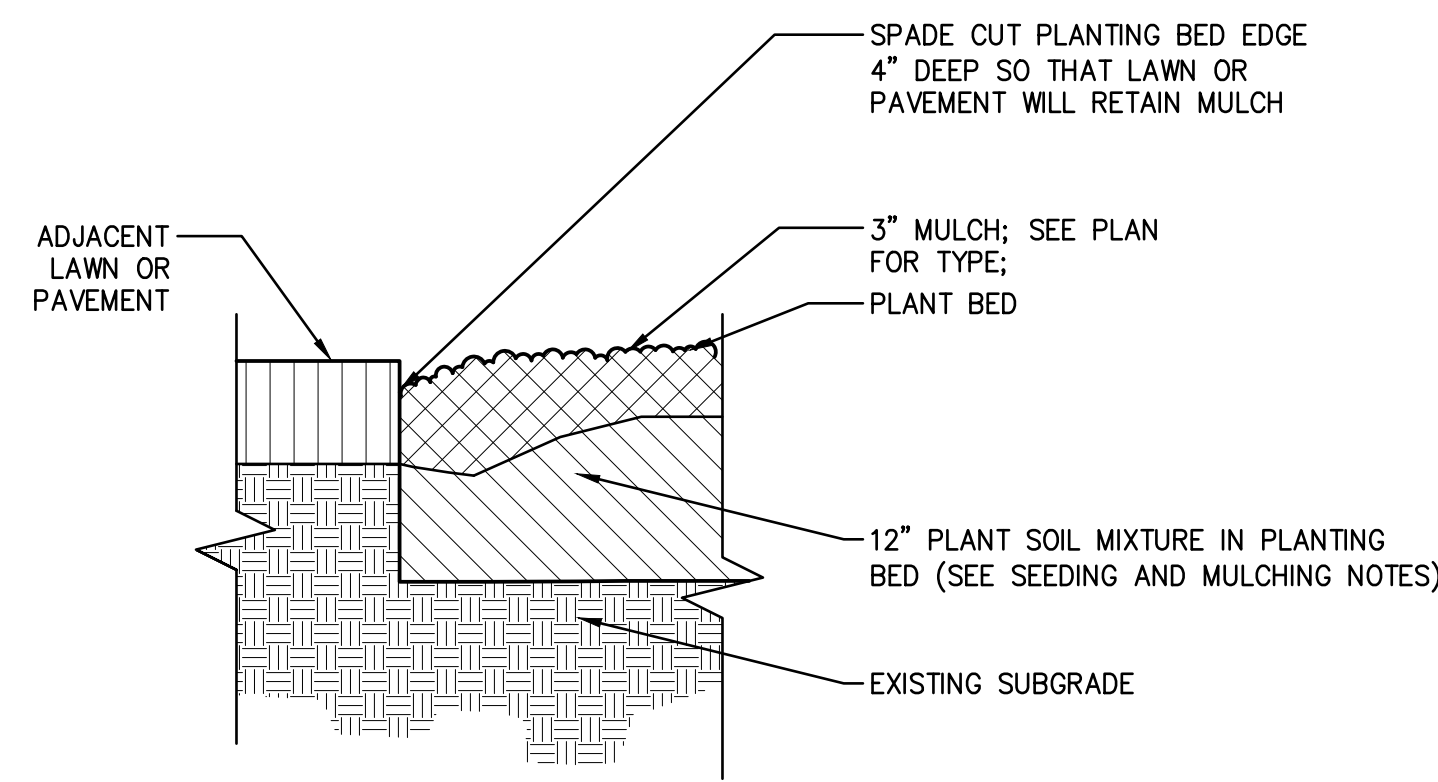
2 EVERGREEN TREE PLANTING DETAIL
6 NOT TO SCALE



3 SHRUB PLANTING DETAIL
6 NOT TO SCALE



4 PERENNIAL PLANTING DETAIL
6 NOT TO SCALE



5/6 TYPICAL LANDSCAPE BED
6 NOT TO SCALE

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**WEST BLVD GREEN
 INFRASTRUCTURE GRANT
 PARKING LOT DESIGN
 WESTOWN COMMUNITY
 DEVELOPMENT CORPORATION**

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LANDSCAPE DETAILS